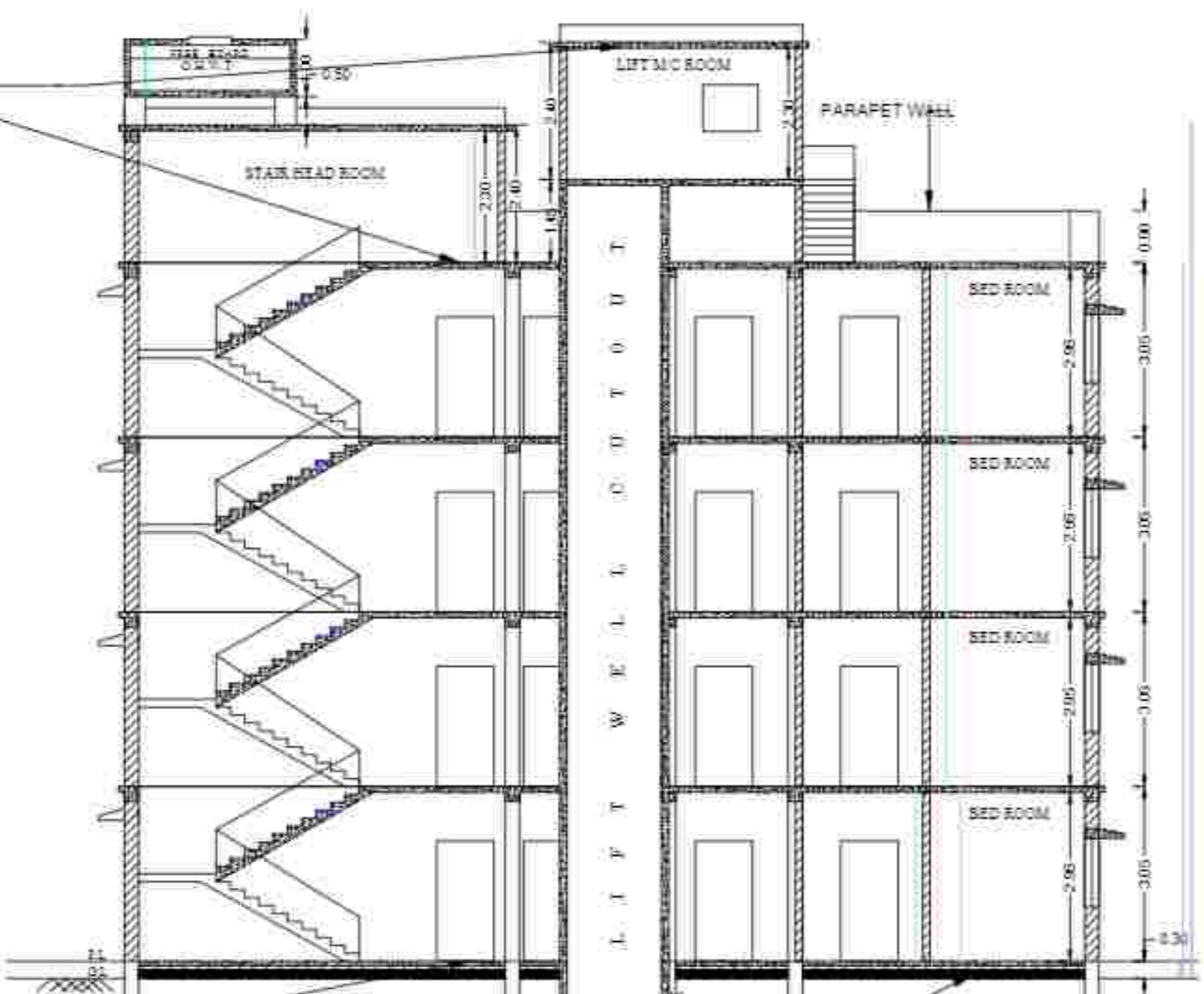
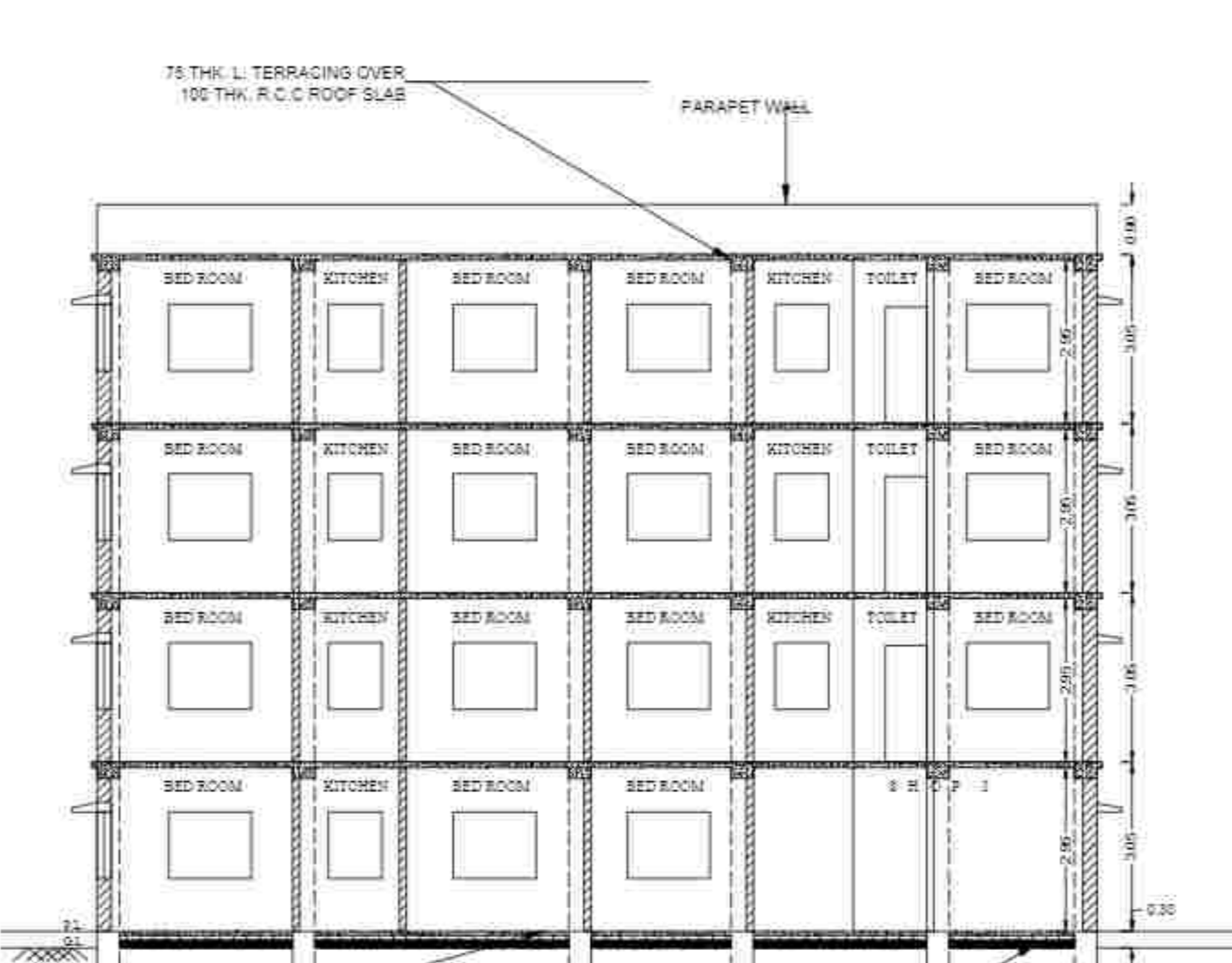


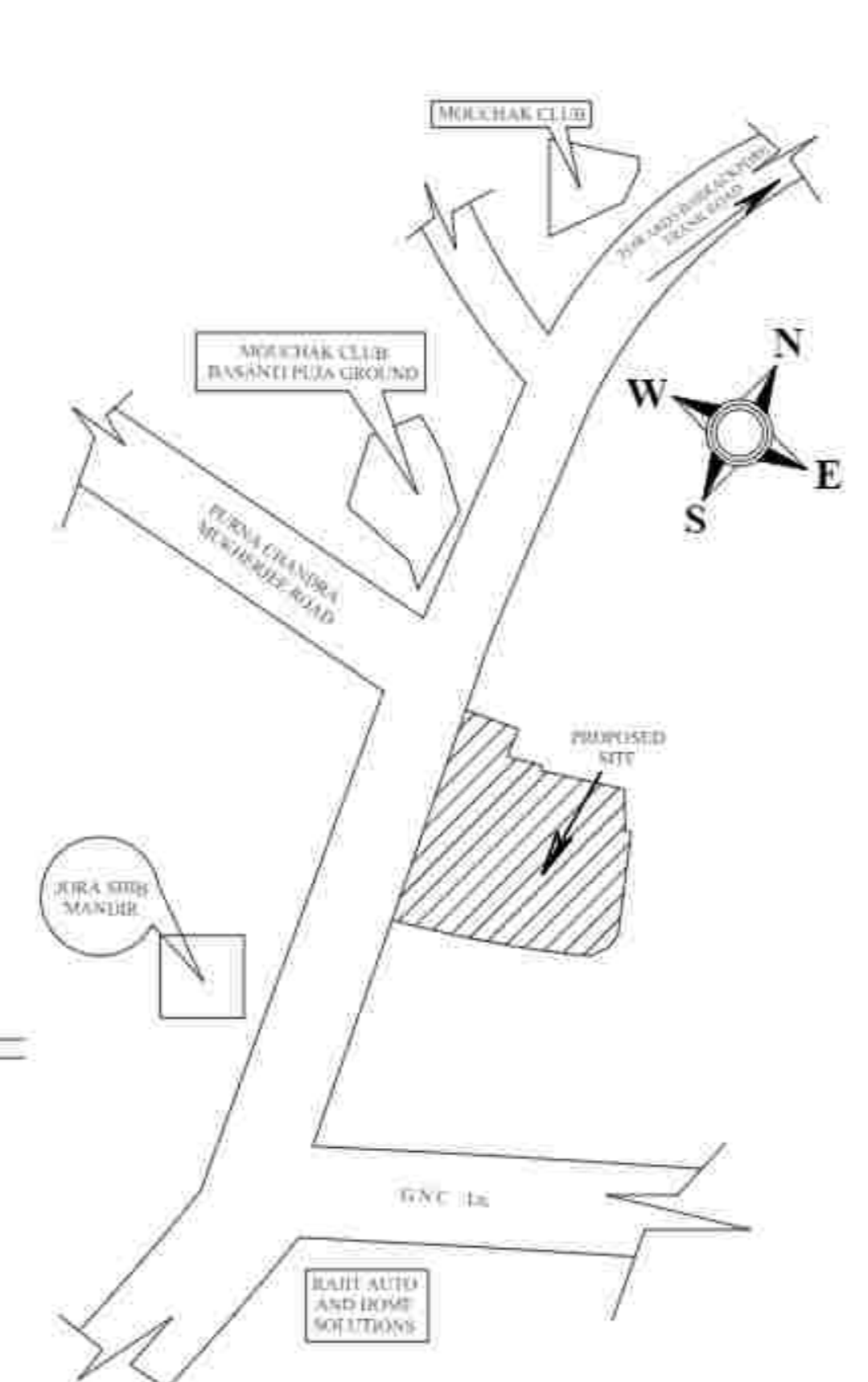
**FRONT ELEVATION**  
SCALE - 1:100



**SECTION A - A**  
SCALE - 1:100



**SECTION B - B**  
SCALE - 1:100



**KEY PLAN**  
SCALE - 1 : 4000

**BUILDING AREA STATEMENT :-**

AREA OF LAND AS PER DEED :	09 K- 12 CH - 01 SQ.FT /	7,021.00 SQ.FT /	652.26 SQ.M
AREA OF LAND AS PER MEASUREMENT :	09 K- 12 CH - 01 SQ.FT /	7,021.00 SQ.FT /	652.26 SQ.M
ROAD WIDTH :	3.81 METER WIDE	(MEASURED)	
PERMISSIBLE BUILDING HEIGHT :	12.50 METER		
PROPOSED BUILDING HEIGHT :	12.50 METER		
PERMISSIBLE GROUND COVERAGE :	326.13 SQ.M /	3,510.46 SQ.FT (50.00 %)	
PROPOSED GROUND COVERAGE :	308.39 SQ.M /	3,319.51 SQ.FT (47.28 %)	
PRINCIPAL OCCUPANCY :	RESIDENTIAL		
TOTAL BUILDPUP AREA :	1,283.26 SQ.M /	13,813.01 SQ.FT	
PERMISSIBLE F.A.R. :	1.75		
PROPOSED F.A.R. :	1,126.85 /	652.26 = 1.73	

**FLOOR AREA :**

GROUND FLOOR :	202.04 SQ.M /	2,174.76 SQ.FT
1 <sup>ST</sup> FLOOR :	308.27 SQ.M /	3,318.22 SQ.FT
2 <sup>ND</sup> FLOOR :	308.27 SQ.M /	3,318.22 SQ.FT
3 <sup>RD</sup> FLOOR :	308.27 SQ.M /	3,318.22 SQ.FT
<b>TOTAL :</b>	<b>1,126.85 SQ.M /</b>	<b>12,129.41 SQ.FT</b>

**TENEMENTS AREA :**

TENEMENTS REFERENCE	GROUND FLOOR	1 <sup>ST</sup> FLOOR	2 <sup>ND</sup> FLOOR	3 <sup>RD</sup> FLOOR
A	22.22 SQ.M / 238.94 SQ.FT	27.01 SQ.M / 289.92 SQ.FT	27.01 SQ.M / 289.92 SQ.FT	27.01 SQ.M / 289.92 SQ.FT
B	22.22 SQ.M / 238.94 SQ.FT	40.73 SQ.M / 436.42 SQ.FT	40.73 SQ.M / 436.42 SQ.FT	40.73 SQ.M / 436.42 SQ.FT
C	34.12 SQ.M / 365.99 SQ.FT	39.42 SQ.M / 422.01 SQ.FT	39.42 SQ.M / 422.01 SQ.FT	39.42 SQ.M / 422.01 SQ.FT
D	34.12 SQ.M / 365.99 SQ.FT	34.12 SQ.M / 365.99 SQ.FT	34.12 SQ.M / 365.99 SQ.FT	34.12 SQ.M / 365.99 SQ.FT
E	34.12 SQ.M / 365.99 SQ.FT	34.12 SQ.M / 365.99 SQ.FT	34.12 SQ.M / 365.99 SQ.FT	34.12 SQ.M / 365.99 SQ.FT
F	34.12 SQ.M / 365.99 SQ.FT	34.12 SQ.M / 365.99 SQ.FT	34.12 SQ.M / 365.99 SQ.FT	34.12 SQ.M / 365.99 SQ.FT

**CAR PARKING AREA :** 101.11 SQ.M / 1,088.34 SQ.FT  
**CAR PARKING SPACE :** 5 NOS.  
**GIFTED AREA OF LAND :** 41.63 SQ.M / 448.11 SQ.FT

**DECLARATION OF ENGINEER :-**

I CERTIFY THAT ALL THE ARCHITECTURAL DRAWING OF THE PROJECT HAVE BEEN PREPARED BY ME COMPLYING WITH THE WEST BENGAL MUNICIPAL BUILDING RULE, 2007. I SHALL BE HELD RESPONSIBLE IF ANY INCORRECT INFORMATION IS FURNISHED BY ME OR ANY VIOLATION OF PROVISIONS OF THESE RULES (THE WEST BENGAL MUNICIPAL BUILDING RULES 2007) IS FOUND IN ANY OF THE DRAWING AND DOCUMENTS, SIGNED BY ME AND SUBMITTED TO THE SANCTIONING AUTHORITY FOR OBTAINING SANCTION.

SIGNATURE OF LBS/ENGINEER

**DECLARATION OF OWNER :-**

I DO HEREBY DECLARE WITH FULL RESPONSIBILITY THAT I SHALL ENGAGE L.B.S. AND S.A.E DURING CONSTRUCTION. I SHALL FOLLOW THE INSTRUCTION OF L.B.S. AND S.A.E DURING CONSTRUCTION OF THE BUILDING (SANCTION AS MUNICIPAL BUILDING RULES 2007). MUNICIPAL AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING AND ADJOINING STRUCTURES IF ANY SUBMITTED DOCUMENTS ARE FOUND TO BE FAKE. THE MUNICIPALITY AUTHORITY WILL REVOKE THE SANCTION PLAN THE CONSTRUCTION OF WATER RESERVOIR AND SEPTIC TANK WILL BE UNDERTAKEN UNDER THE GUIDANCE OF L.B.S. / S.A.E BEFORE STARTING OF BUILDING FOUNDATION WORK.

SIGNATURE OF OWNER

- NOTES & SPECIFICATION :-**
- ALL DIMENSION ARE IN METER, OTHERWISE MENTION IN DRAWING.
  - ALL DIMENSION ARE IN MILLIMETER FOR ALL OTHER SECTIONAL DETAILS LIKE SEPTIC TANK, UNDER GROUND WATER RESERVOIR (U.G.W.R.), SORE PIT.
  - ALL OUTER WALLS ARE 250 MM THK. & ALL INTERNAL WALLS ARE 125 MM THK. UNLESS OTHERWISE MENTIONED.
  - ALL R.C.C. CHAJJAS ARE IN 75 MM THK & 450 MM PROJECTED.
  - 250 MM, 125 MM, 75 MM THK BRICK WORK WILL BE OF 1<sup>ST</sup> CLASS BRICK IN CEMENT SAND MORTAR OF (1:6) & (1:4) RESPECTIVELY.
  - THE DEPTH OF S.U.G.W.R. SHOULD NOT EXCEED THE DEPTH OF FOUNDATION OF THE BUILDING.
  - GRADE OF STEEL Fe-415
  - GRADE OF CONCRETE M20
  - OTHER SPECIFICATIONS WILL BE FOLLOWED AS PER N.B.C. OF INDIA
  - ALL FLOORS WILL BE MARBLE FINISHED & WATER TIGHT.
  - H.B. WIRE NETTING SHOULD BE USED AT ALTERNATE LAYERS FOR 75MM THICK WALLS
  - INSIDE WALLS PLASTER - 15 mm THICK (1:6)
  - OUTSIDE PLASTER - 20 mm THICK (1:6)
  - INSIDE CEILING PLASTER - 10 mm THICK (1:4)

**TITLE** ——— PROPOSED GROUND FLOOR & 1<sup>ST</sup> & 2<sup>ND</sup> & 3<sup>RD</sup> & ROOF PLAN, SITE PLAN, ELEVATION, SECTION & DET. OF SEPTIC TANK & WATER TANK, BOUNDARY WALL, GATE, ETC.

**PURPOSE** ——— SANCTION ARCHITECTURAL DRAWING

PROPOSED G+3 STORED RESIDENTIAL BUILDING PLAN WITH CONSIDERING STRUCTURAL LOAD OF EXTRA ONE STORED FOR MOUZA-PANIHATI, J.L NO-10, R.S NO-32, TOUZI NO-155, R.S & L.R. DAG NO-1173,1174,1174/1839, R.S. KHATIAN NO-547,543, L.R KHATIAN NO-1360,2051,946 WITH IN THE LIMITS OF PANIHATI MUNICIPALITY, HOLDING NO-63, WARD NO-04, AT RAJA RAM CHAND GHAT ROAD, P.S-KHARDAH, DIST-NORTH 24 PARGANAS.

- OWNER NAME:-**  
**M/S. ESSAR DEVELOPERS**  
 OURSELF AND LAWFULL CONSTITUTED ATTORNEY OF
- SRI. GOPAL MODAK
  - SRI. MOHITOSH MODAK
  - SMT. MAYA DAS

L. B. S - BIKAS DATTA

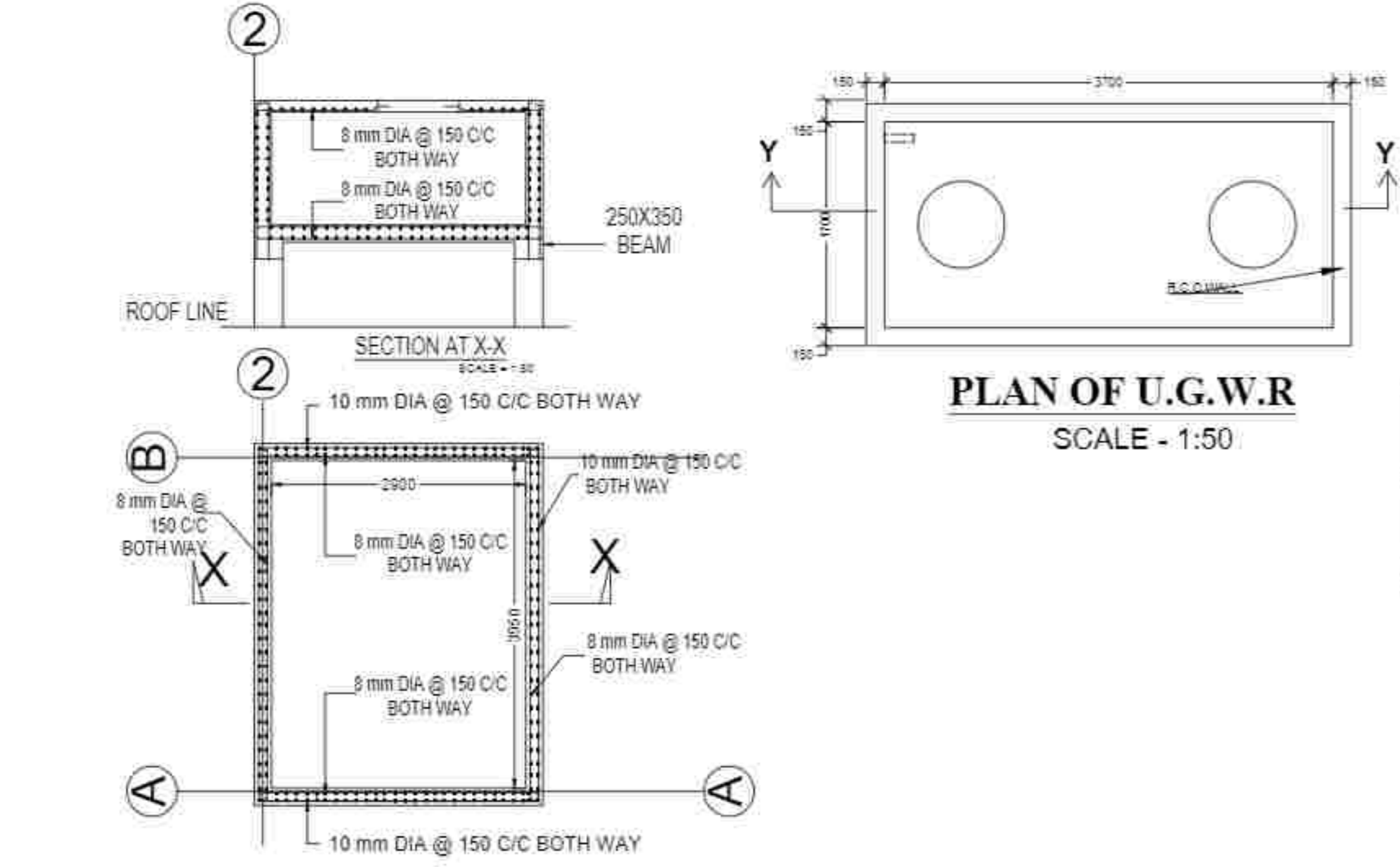
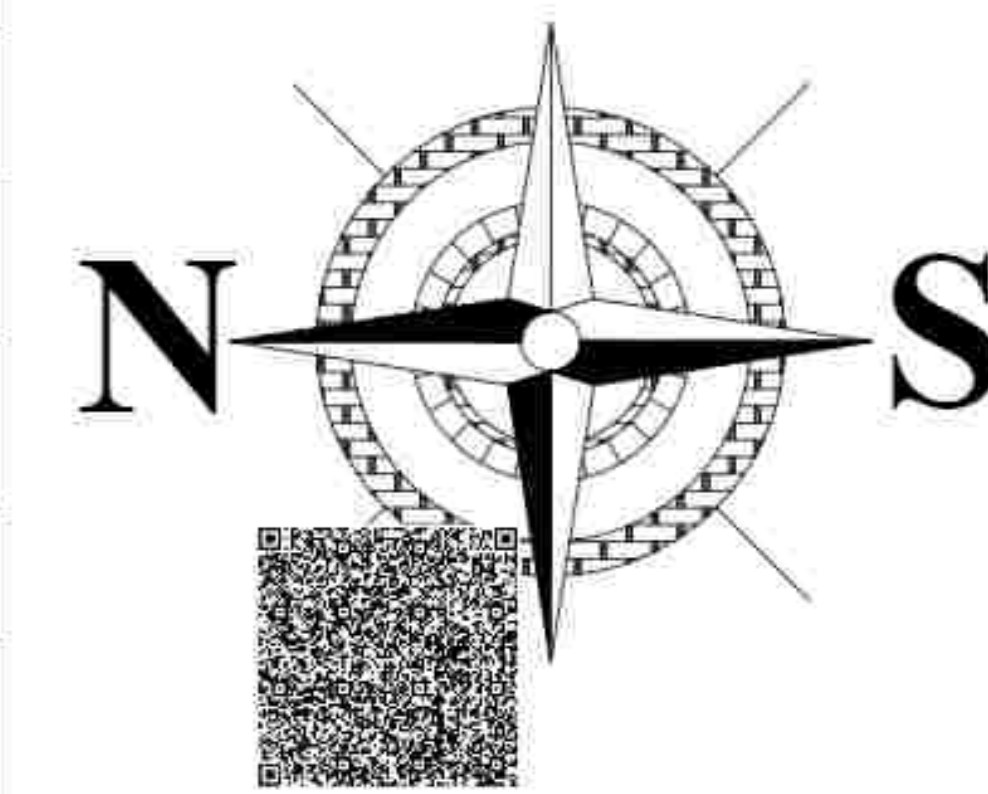
SCALE AS SHOWN : 1:100,1:4000,1:50, 1:20, 1:10

DRAWN BY :

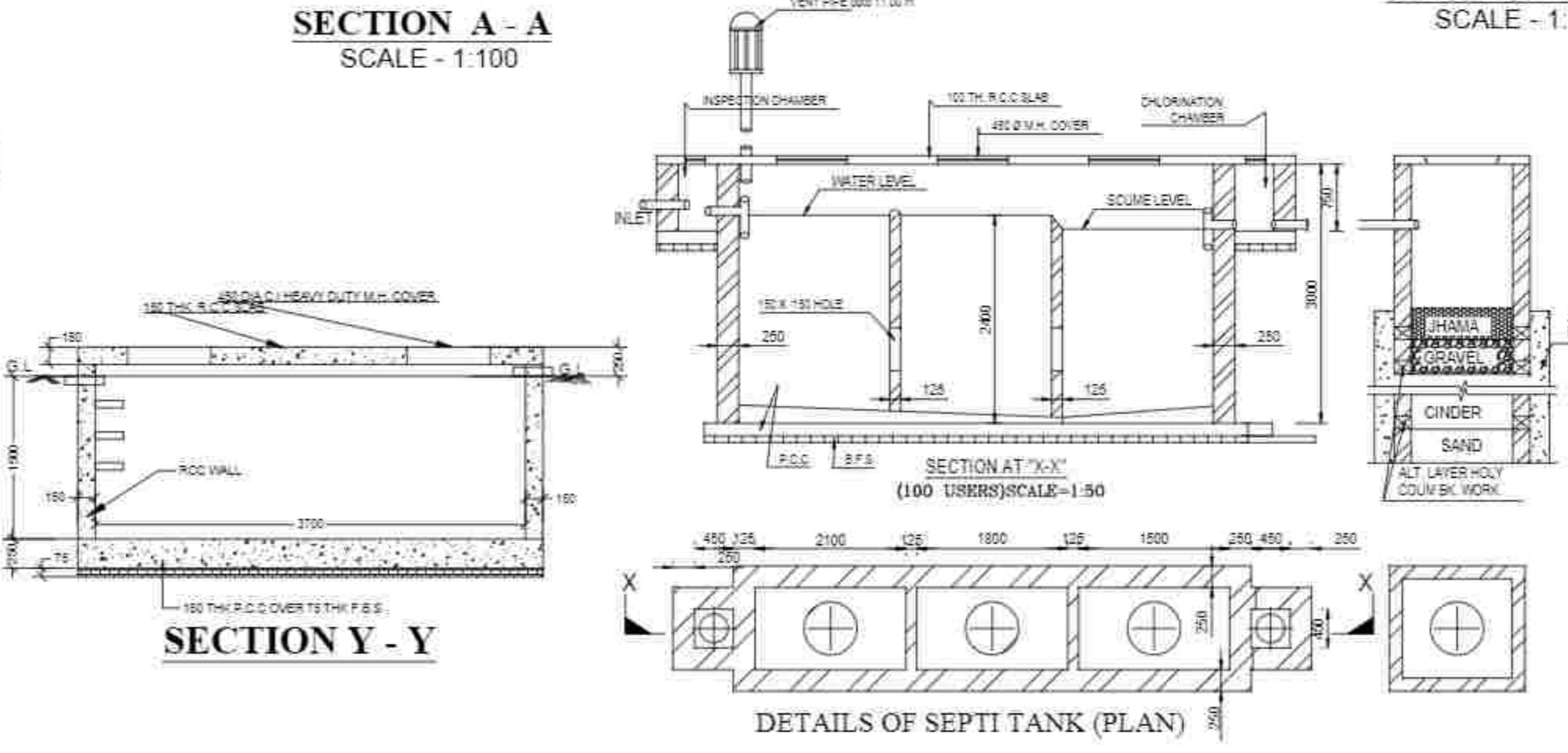
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DATE :

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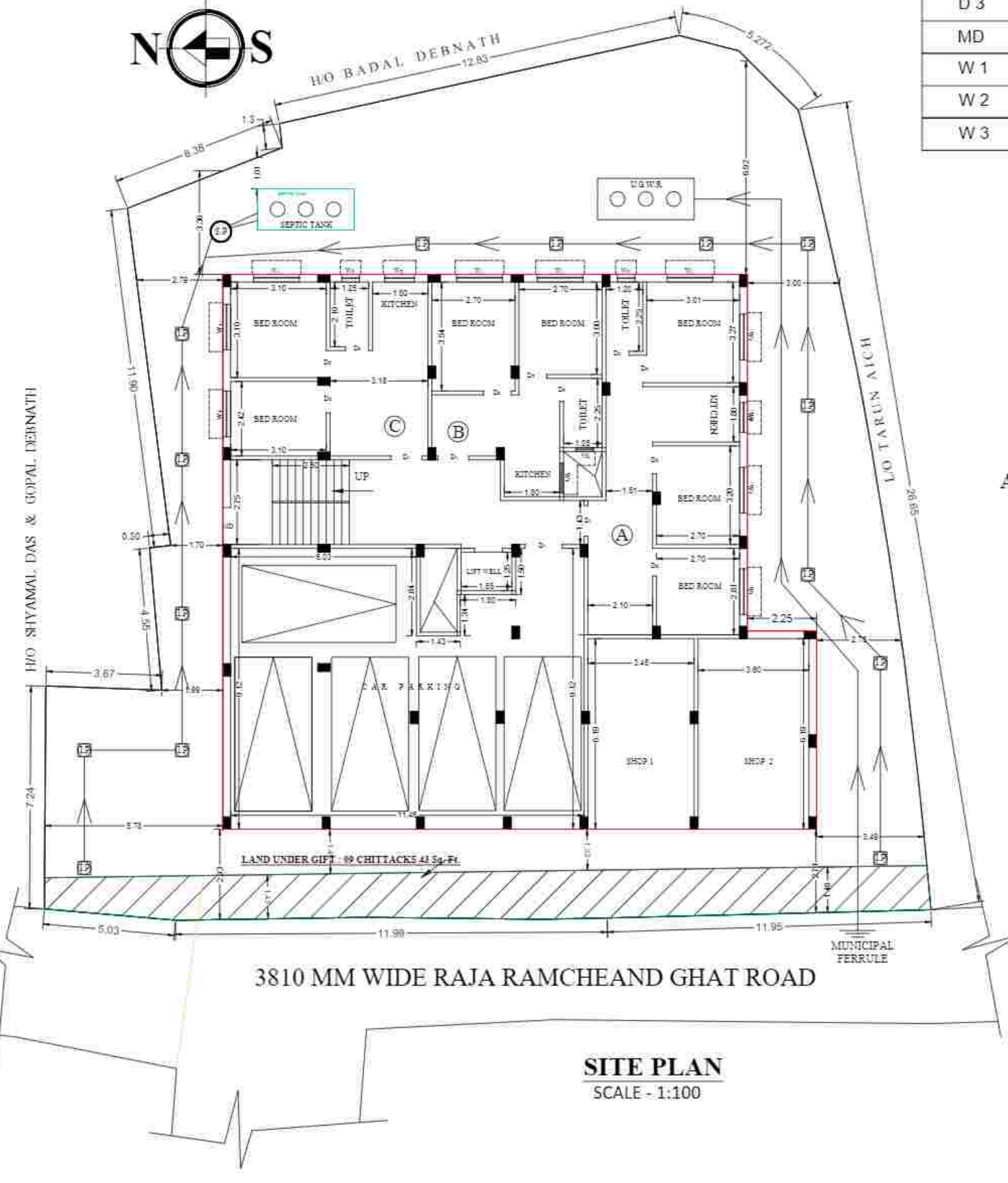


**REINFORCEMENT DETAIL AND TYP. PLAN OF OVERHEAD RESERVOIR(12500 Lt.)**  
SCALE = 1:50

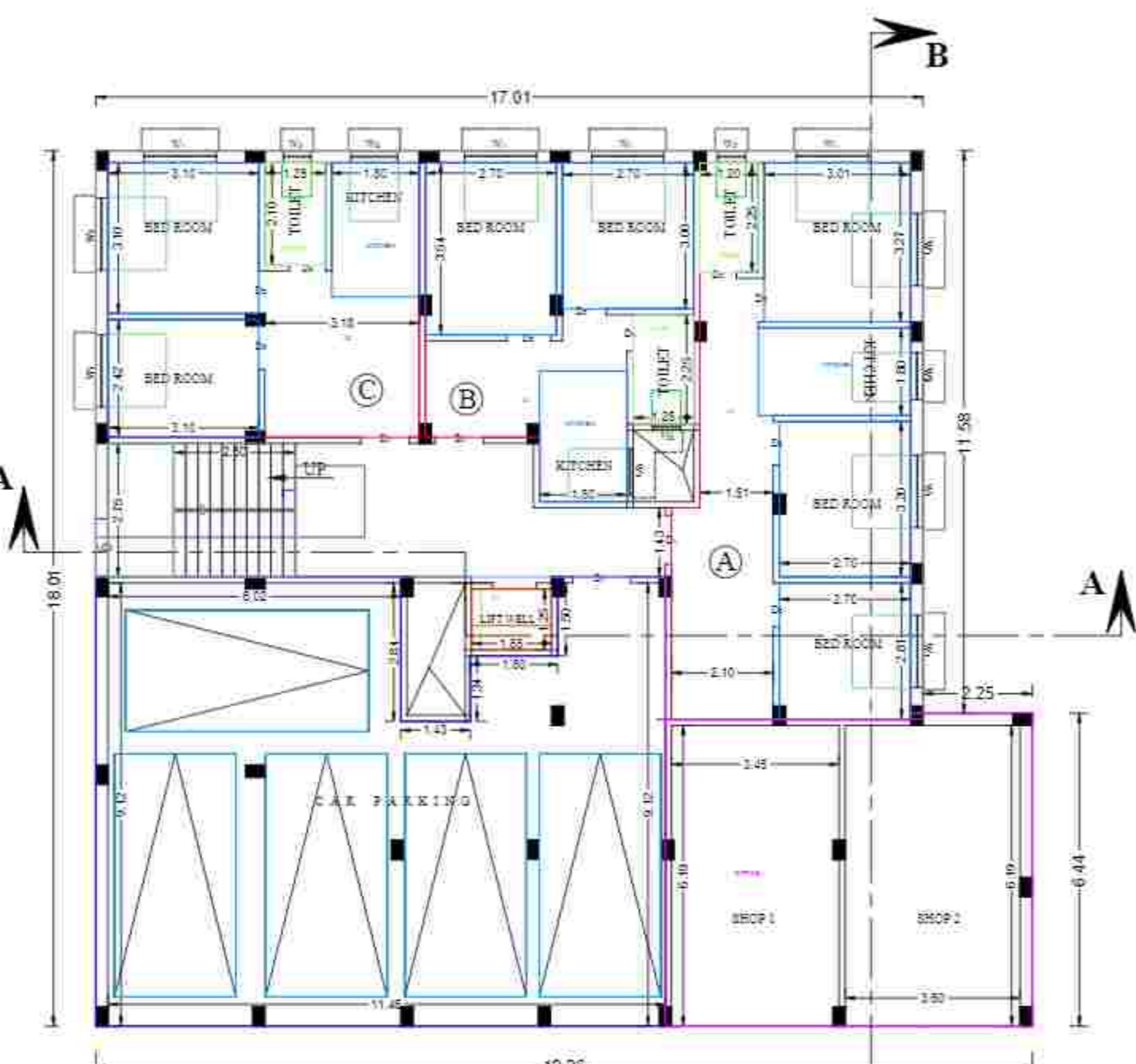


**SCHEDULE OF OPENINGS**

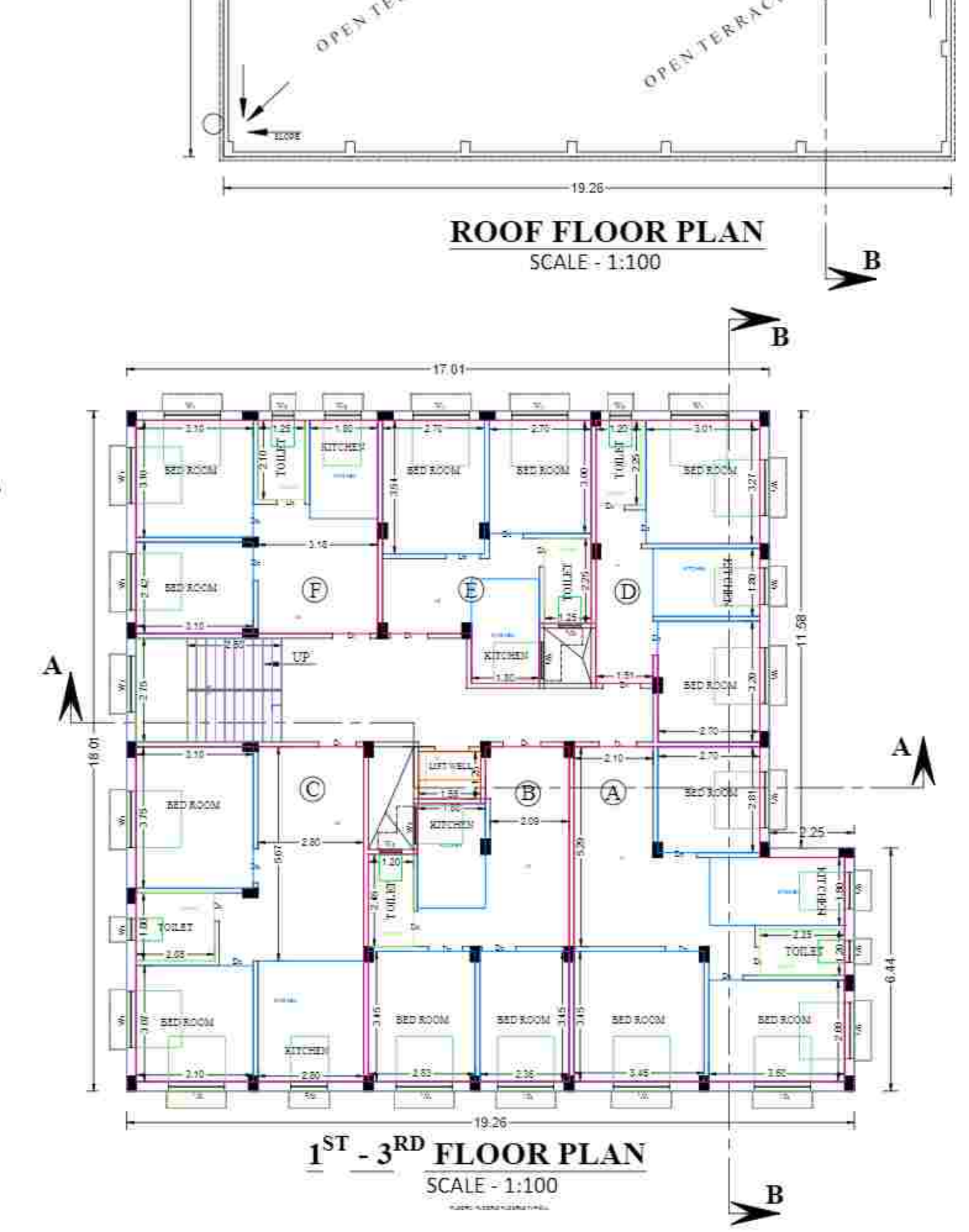
TYPE	OPENING SIZE (MM)	DESCRIPTION	
	WIDTH	LENGTH	
D 1	1000	2100	ENTRANCE
D 2	900	2100	ROOM
D 3	750	2100	TOILET
MD	1200	2100	MAIN ENTRANCE
W 1	1500	1200	ROOM
W 2	600	700	TOILET & WC
W 3	1000	1200	KITCHEN



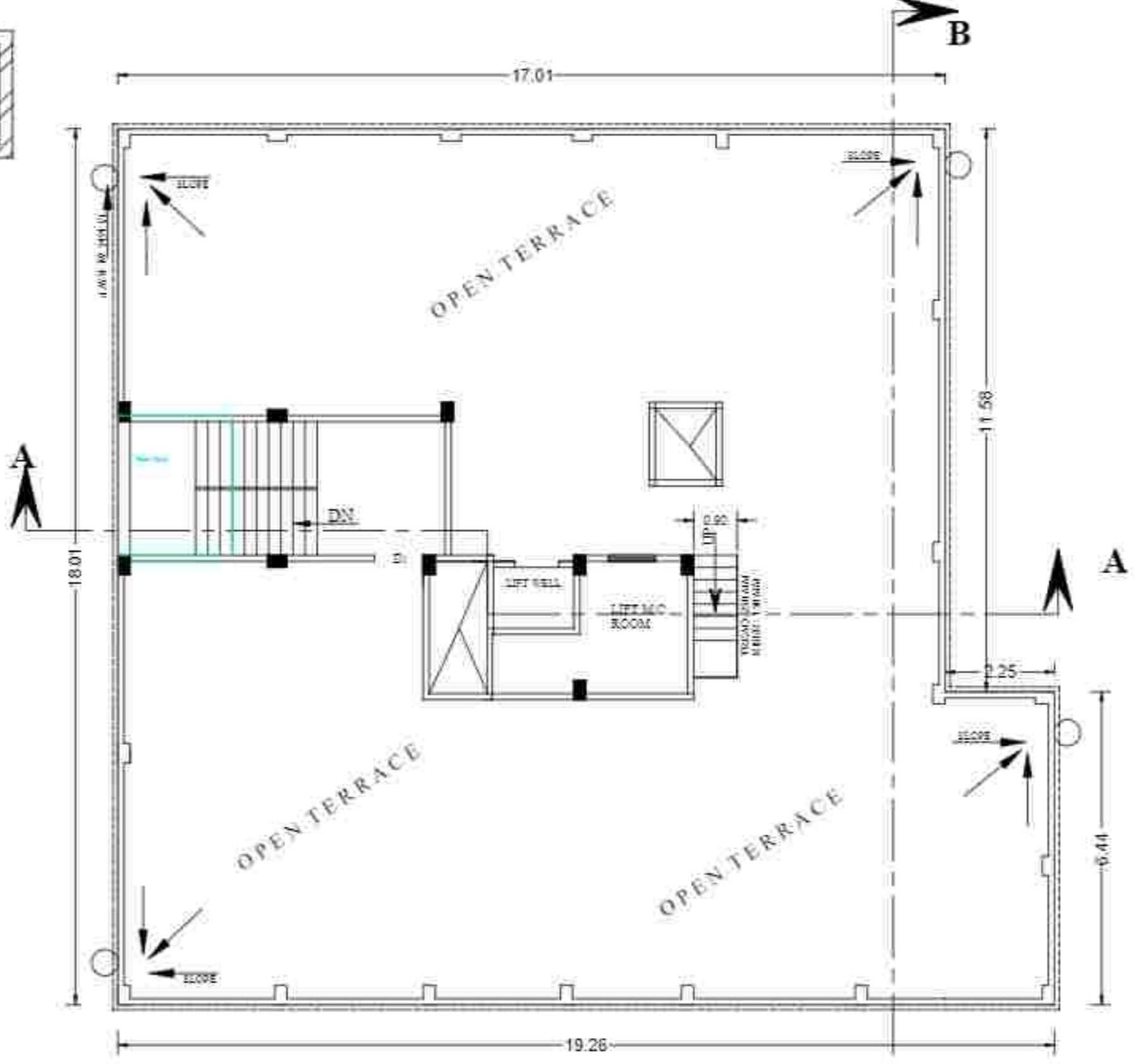
**SITE PLAN**  
SCALE - 1:100



**GROUND FLOOR PLAN**  
SCALE - 1:100



**1<sup>ST</sup> - 3<sup>RD</sup> FLOOR PLAN**  
SCALE - 1:100



**ROOF FLOOR PLAN**  
SCALE - 1:100